

65 Orchard Gardens

BH2023/02756

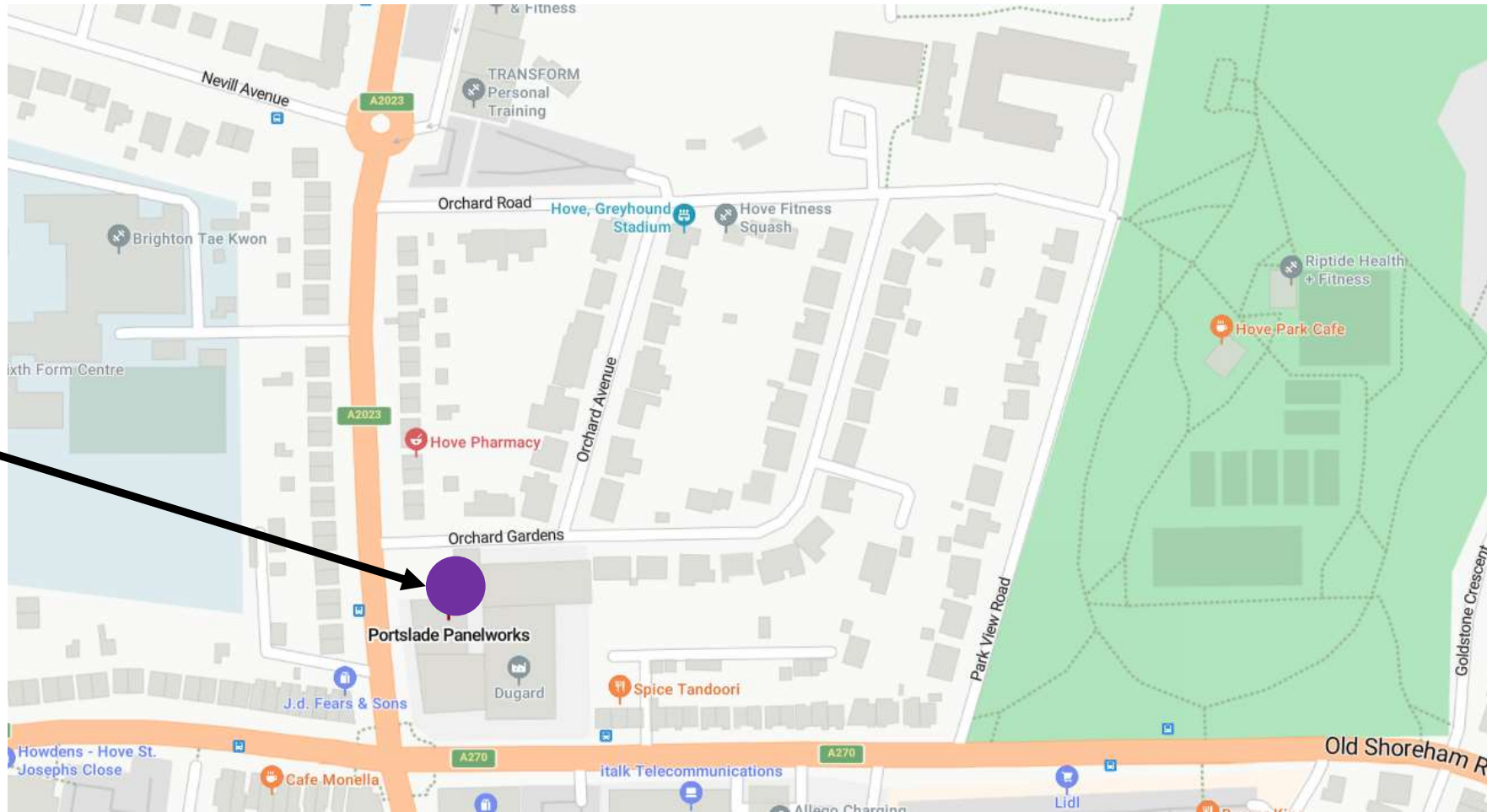


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Application Description

Demolition of existing buildings and erection of a 6no storey building and basement comprising a mixed-use development including 2no commercial units for office space (Class E(g)(i)) on the ground floor and 42no one, two and three bedroom flats (Class C3) on ground and upper floors, 25no car parking spaces (including 2no disability spaces), cycle storage and associated landscaping.

Map of application site



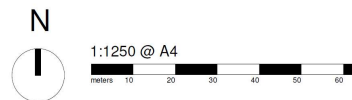
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Site

Location Plan



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PL-01 P01

Aerial photo of site



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3D Aerial photo of site



Street photo of site: Nevill Rd

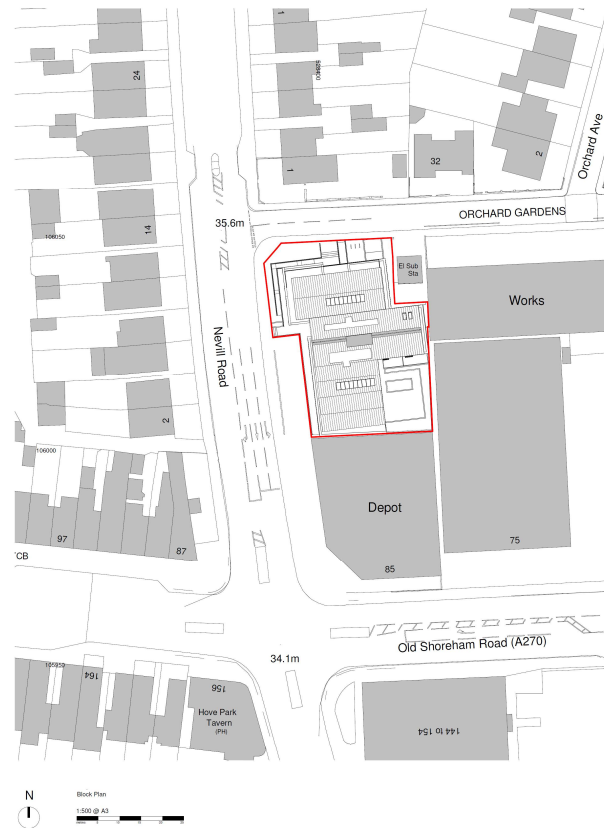


Street photo of site: Corner Nevill Rd/Orchard Gardens



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Existing Block Plan

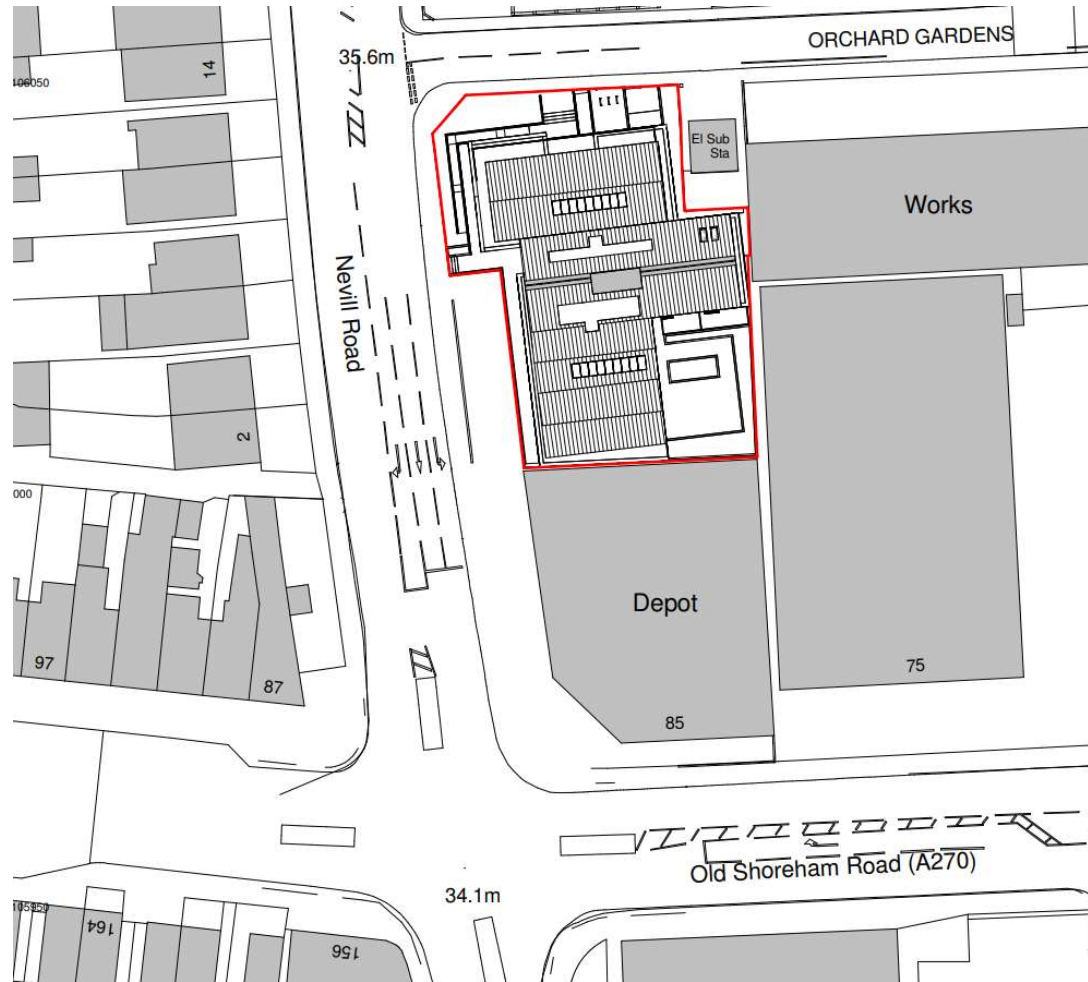


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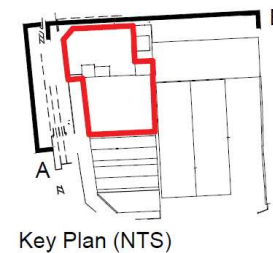
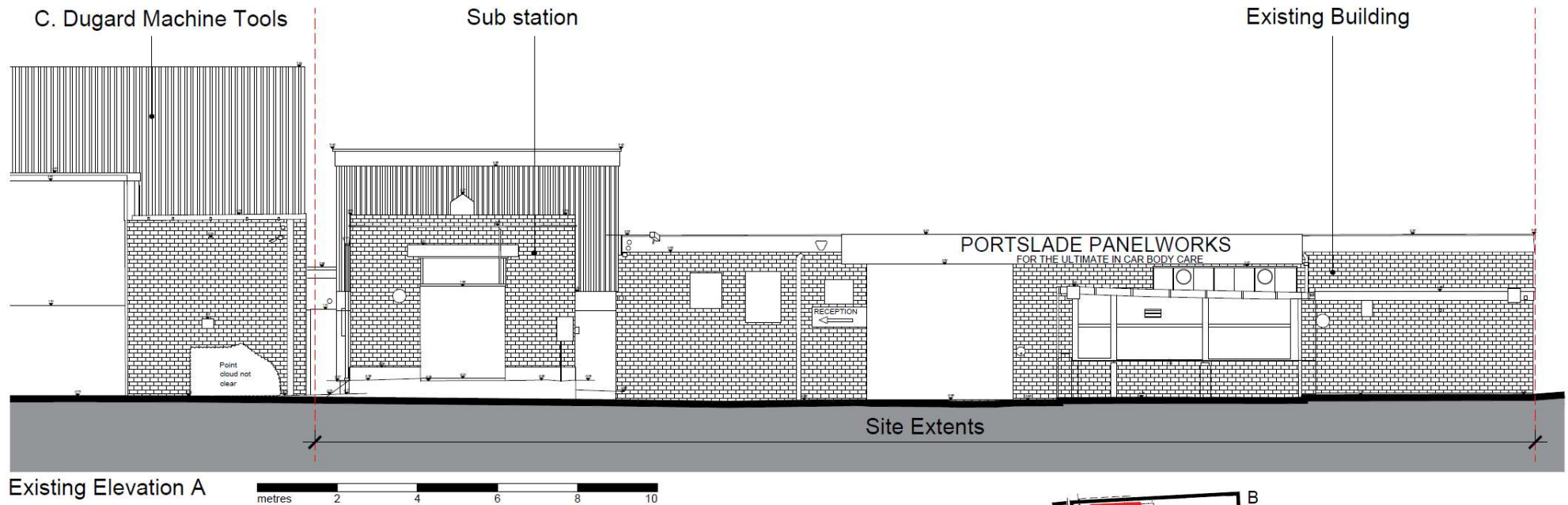
Proposed Block Plan



Split of uses/Number of units

- 42 flats
 - 21 X one-bed, two-person dwellings;
 - 4 X two-bed, three-person dwellings;
 - 13 X two-bed, four-person dwellings;
 - 3 X three-bed, five person dwellings.
- 2 commercial units: 85.7m² and 208.2m²

Existing Front Elevation: Nevill Rd (west)



Proposed Front Elevation: Nevill Rd (west)

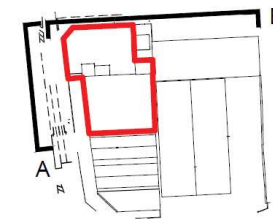
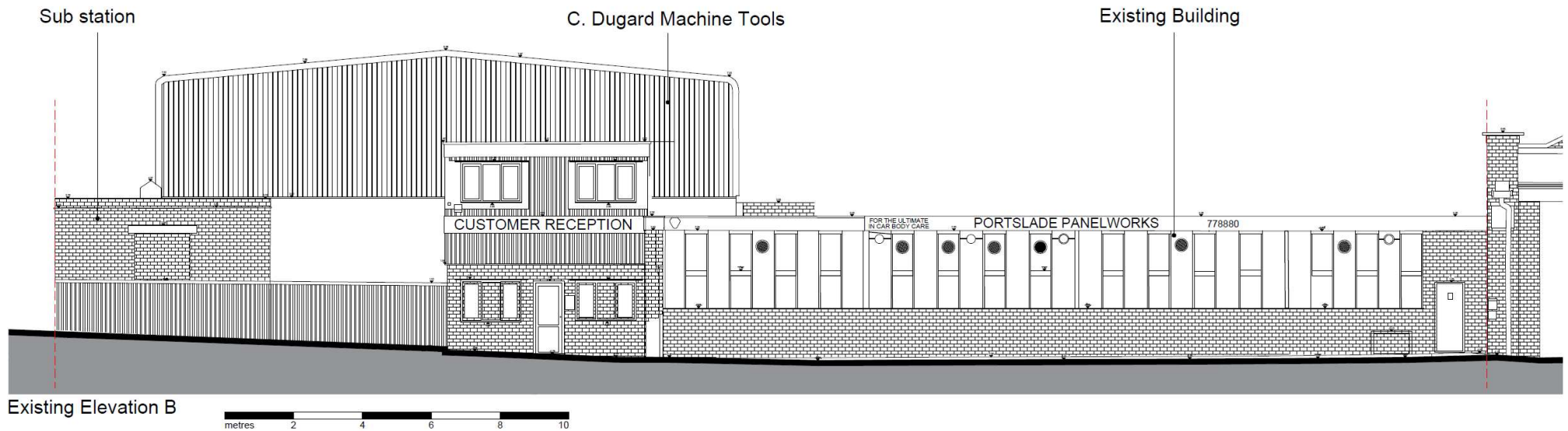


West Elevation



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Existing Front Elevation: Orchard Gardens (north)



Key Plan (NTS)



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Proposed Front Elevation: Orchard Gardens (north)

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North Elevation
1:100

1:100 @ A1 / 1:200 @ A3
0 2 4 6 8 10

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Proposed Side Elevation (east)

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Proposed Rear Elevation (south)

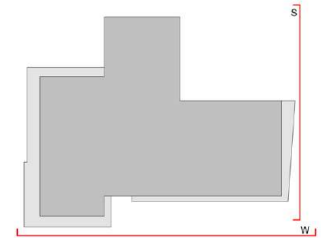
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Proposed Rear Elevation



Comparison With Previous Approval: West (Nevill Rd)



Approved



Proposed



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Comparison With Previous Approval: North (Orchard Gdns)



Approved -



Proposed



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Comparison With Previous Approval: South



Approved



Proposed

Comparison With Previous Approval: East



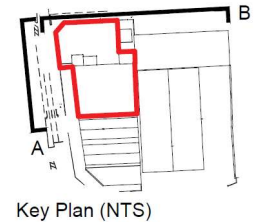
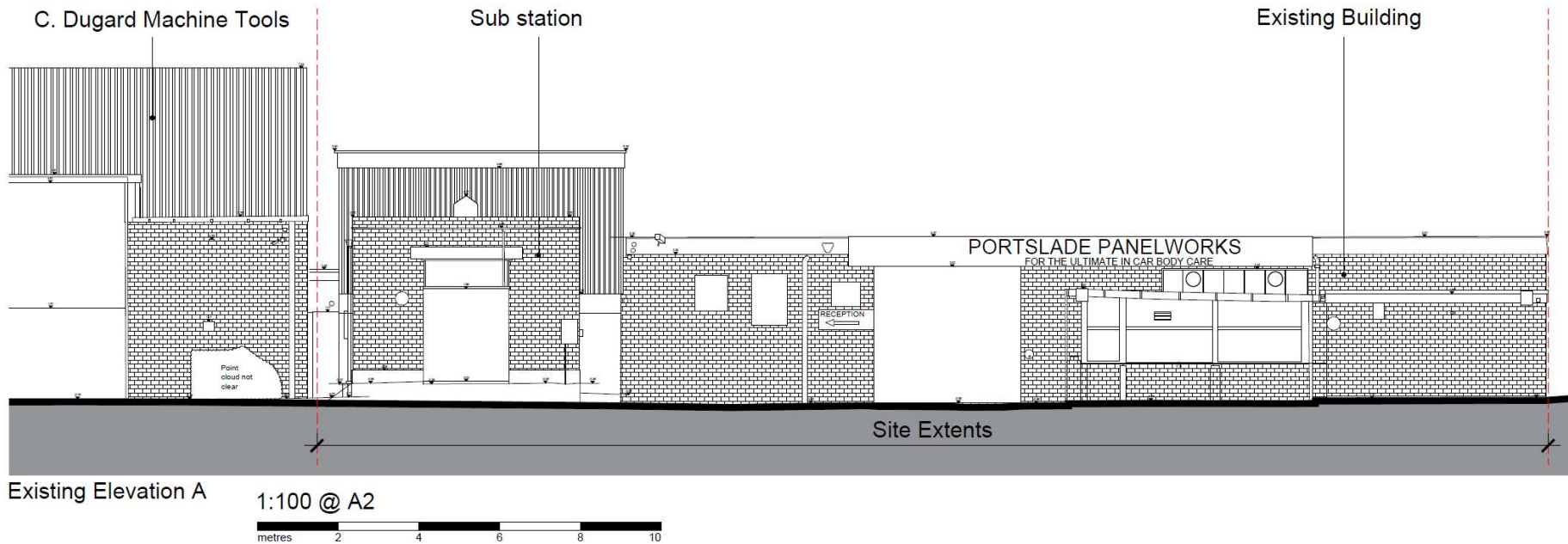
Approved

Proposed



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Existing Contextual Front Elevation: Nevill Road

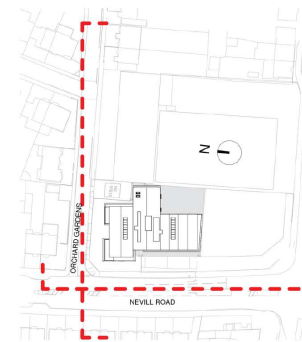


Proposed Contextual Front Elevation: Nevill Road



Nevill Road Street Scene
1 : 200

1:200 @ A1 / 1:400 @ A3
metres 4 8 12 16 20

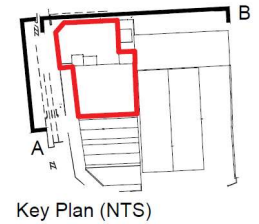
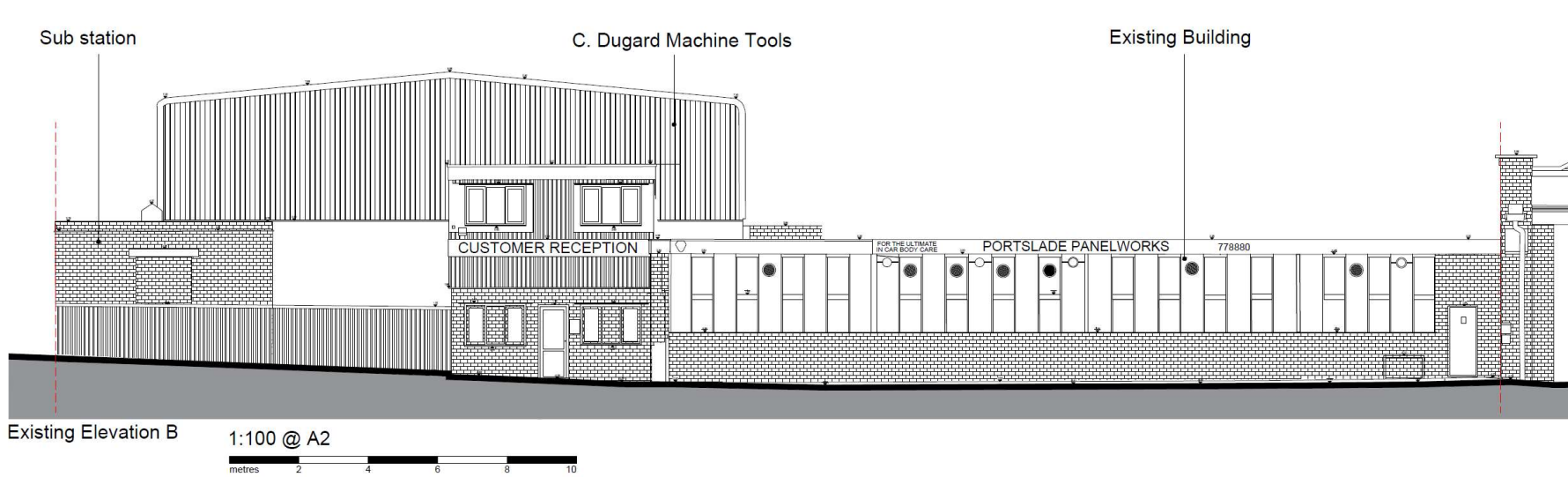


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Existing Contextual Front Elevation: Orchard Gardens



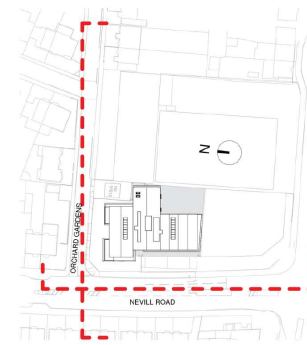
Proposed Contextual Front Elevation

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Orchard Gardens Street Scene
1 : 200

1:200 @ A1 / 1:400 @ A3
metres 4 8 12 16 20



PL-21 P01



Visuals: Approved vs. Proposed Facing South From Orchard Gardens



Approved



Proposed

ID

Representations

One Hundred and Twenty Four (124) objections have been received raising the following concerns:

- Loss of employment floorspace and of employment land.
- Poor design, out of keeping with area, overdevelopment, too dense;
- Impact on amenity: loss of privacy, views, light.
- Increased noise and pollution, including a decline in air quality
- Increased noise/disturbance from car parking and ramp to basement;
- Increased traffic;
- Detrimental effect on property values.

Councillor Lyons has objected to the scheme.

S106 table

Affordable Housing

- Commuted sum payment of £305,000 towards provision of affordable housing in the city.

Employment Strategy

- £11,600 contribution
- Employment and Training Strategy
- Strategies for the demolition and construction phases

Transport:

- S278 agreement securing Orchard Gardens and Nevill Road public realm improvements (“works”)

Key Considerations in the Application

- Loss of 1300sqm employment floorspace
- Provision of 42 units of housing
- Lack of affordable housing
- Design of the proposed building
- Impact on amenity of occupiers and neighbours

Conclusion and Planning Balance

- Similar scheme has previously been approved – loss of employment floorspace accepted;
- Provision of 42 units of accommodation and 2 modern commercial units is positive;
- Acceptable design which would represent an improvement over existing; and acceptable in amenity terms;
- Increased height raises no additional concerns over amenity impact;
- Lack of on site affordable housing regrettable, however, complies with policy.
- **Recommend: Minded to Grant**

